



BUFFALO COUNTY FACILITIES OMP

PO BOX 1270
KEARNEY, NE 68848

Request for Proposal (RFP) for Buffalo County 321 Central Remodel Project **At the Buffalo County 321 Building, 321 Central Ave., Kearney, NE**

Bidders are invited to submit a formal Proposal for the building improvements on the Buffalo County 321 Building. Work is to be performed as per the plans and specifications from Wilkins ADP.

Bidders shall submit their sealed proposals **no later than Tuesday, March 26, 2024 at 8:30am** to the following physical location: Buffalo County Clerk – 1512 Central Avenue, Kearney, NE 68847. The sealed proposals shall be clearly labeled “**Request for Proposal Buffalo County 321 Central Remodel Project**”. Proposals will be opened and read aloud during the regularly scheduled Board of Commissioners' meeting that begins at 9:00am on March 26, 2024. The Board of Commissioners may make a selection at that time, or elect to postpone a selection until a later date in order to more fully review and consider the proposals.

The Buffalo County Board of Commissioners reserves the right to reject any and all bids and to waive any informality in the bidding.

General Conditions

The following are the general conditions for the work to be performed.

Scope of Work

It is understood that except as otherwise specifically stated in the contract, the contractor shall provide and pay for all materials, labor, tools, equipment, and transportation of every nature and all other services and facilities of every nature whatsoever, necessary to execute, complete and deliver the work within the specified time. Permits and licenses necessary for the execution of work shall be secured by the Contractor. All supplies and material shall be new. Any work necessary to be performed after regular working hours shall be performed without additional expense to the County.

Existing Conditions

The Contractor, in undertaking the work under this contract, is assumed to have visited the premises and to have taken into consideration all conditions which might affect the work. No consideration will be given to any claims based on lack of knowledge of existing conditions. To arrange a site visit, please contact Stephen Gaasch, Buffalo County Facilities Director, via email at facilities@buffalocounty.ne.gov or phone at 308-224-0108.

Insurance Requirements

Prior to executing an Agreement for Services, the contractor will be required to provide the County proof of the required insurance and endorsement. Contractors are encouraged to contact their insurance carriers during the proposal stage to ensure that the insurance requirements can be met if selected.

- | | |
|--|-------------|
| • Commercial General Liability Insurance | \$1,000,000 |
| • Worker's Compensation Insurance | \$500,000 |
| • Professional Liability Insurance | \$2,000,000 |
| • Automobile Liability Insurance | \$500,000 |
| • Excess/Umbrella Liability | \$2,000,000 |

Qualifications Requirements

As part of the Proposal, the contractor must demonstrate to the complete satisfaction of the County, that the contractor has the necessary certifications, licenses, facilities, ability and financial resources to execute the work in a satisfactory manner within the time specified; that the Contractor has had experience in work of the same or similar nature; and that the Contractor has past history and references which will assure the County of the Contractor's qualifications for executing the work.

Taxes

The County is a tax-exempt organization. A copy of the County's tax-exempt form will be furnished. This will be a tax-exempt project.

Proposal Format

Proposals should be submitted with the attached form, contain information required by the RFP, and submitted in a sealed envelope addressed to:

Buffalo County Clerk
PO Box 1270
Kearney, NE 68848-1270

Sealed Proposals will be received until 8:30am on March 26, 2024. All Proposals shall be clearly marked with "**Buffalo County 321 Central Remodel Project**". The Proposals will be opened and read aloud during the regularly scheduled Board of Commissioners' meeting that begins at 9:00am on March 26, 2024.

Plans & Specifications

Copies of the plans and specifications for the project are available at the Buffalo County Facilities OMP office at 1407 1st Ave., Kearney, NE 68847. Contact Nikki at 308-236-1225 for more information.

Deviations

Any deviations from the scope of work indicated herein must be submitted in writing, clearly noted and explained in detail on a separate form, and attached to the submitted Proposal.

Award of Contract

The Board of Commissioners may make a selection at the time of bid opening, or elect to postpone a selection until a later date in order to more fully review and consider the proposals. The County may accept any Proposal offered on an all, partial, or none basis, or within funds available, whichever is in the best interest of the County.

Contract form

Upon selection, the County and Contractor will have a signed contract prior to any work being started.

Changes in Contract

The County will not be responsible for any change in the work involving extra cost unless approval in writing is furnished and approved by the Board of Commissioners before such work is begun.

Warranty

All materials and labor provided by the Contractor shall have the manufacturer's warranty as well as a 1-year workmanship warranty for the Contractor's installation work.

Clean Up Site

All outside and inside areas of the buildings and grounds shall remain clean and free of any construction debris. Disposal of construction debris will be provided by and at the expense of the Contractor. An allotted area will be allowed for material storage.

**SUCCESSFUL BIDDER WILL INSTALL PER PLANS AND SPECIFICATIONS PROVIDED BY WILKINS
ARCHITECTURE DESIGN PLANNING (Wilkins ADP) dated January 5, 2024.**

Contact Person

If there are any questions regarding the RFP, please contact Stephen A. Gaasch, Buffalo County Facilities Director, Buffalo County Facilities OMP at facilities@buffalocounty.ne.gov or (308)224-0108.

PROPOSAL FORM

BUFFALO COUNTY 321 CENTRAL AVE REMODEL PROJECT

DUE NO LATER THAN 8:30 AM ON MARCH 26, 2024

All sealed Proposals must be delivered to the following address:

Buffalo County Clerk
PO Box 1270
Kearney, NE 68848-1270

Name of Contractor: _____

Having carefully examined the Proposal requirements including the General Conditions, and the Request for Proposal for **Buffalo County 321 Central Remodel Project**, and addenda, and conditions affecting the work, the undersigned proposes to provide the required materials, services, warranties, and delivery of specified in the attached Proposal for the total sum not to exceed:

Selective Demolition bid: _____

Concrete bid: _____

Architectural Woodwork (Material Only) bid: _____

Finish Carpentry bid (Install casework, doors/hardware): _____

Aluminum Entrances, Glass/Glazing bid: _____

Framing/Drywall Installation bid: _____

Acoustical Ceilings bid: _____

Floor Coverings bid: _____

Painting bid: _____

Fire Alarm Bid: _____

Mechanical Complete bid: _____

Electrical bid: _____

General Conditions/Specialties bid: _____

GRAND TOTAL \$_____

Respectfully Submitted,

Name of Firm: _____

Address of Firm: _____

Signature: _____

Telephone Number: _____

Submitter's Title: _____

Name and Title of Contractor's Representative who will service contract:

All bids must be completed and submitted on this bid form.

In submitting this Proposal, the Bidder agrees with the following:

- a. The bidder agrees that the bid shall not be withdrawn or altered for a period of Forty-Five (45) days after the date scheduled for submission of bids.
- b. To furnish all material, labor, tools, expendable equipment, and all utility and transportation services necessary to perform and complete, in a workmanlike manner, all the work required for the bid package in accordance with the documents prepared by Wilkins ADP.
- c. The bidder has visited the site and familiarized himself/herself with the local conditions affecting the cost of work at the place where the work is to be done.
- d. The bidder has examined the Contract Documents, Addendum(s) _____, and is familiar with all the conditions affecting the construction of the proposed project set forth by Wilkins ADP.

All bid packages are to be complete and comprehensive based on the plans and specifications provided.

All bid packages are to include Material, Labor and Equipment as required to complete the work unless noted otherwise in the bid package.

All bid packages are to include their own daily clean-up.

All bid packages shall include supplementary or miscellaneous items, appurtenances and devices incidental to or necessary for a sound, secure, complete and functional installation.

Buffalo County Facilities OMP plans on serving as the General Contractor/Construction Manager for this project.



BUFFALO COUNTY

321 CENTRAL AVE REMODEL

321 Central Avenue
Kearney, Nebraska, 68847

100% Construction Documents
January 05, 2024



WILKINS

ARCHITECTURE | DESIGN | PLANNING



I, Jacob M. Sertich,
Registered Architect, am the
Coordinating Professional
on this project.

SHEET INDEX

ARCHITECTURAL

AD1.0	Demolition Floor Plan
A1.0	Overall Floor Plan
A3.0	Reflected Ceiling Plan
A8.0	Door Details, Materials List, Room Finish Schedule
A9.0	Finish Floor Plan

ELECTRICAL

EG0.0	Electrical General Information
ED1.0	First Floor Electrical Demolition Plan
E1.1	First Floor Lighting Plan
E2.1	First Floor Electrical Plan
E2.2	Second Floor Electrical Plan
E3.1	Electrical Schedules & Details

SYMBOLS AND ABBREVIATIONS

	ROOM ROOM NUMBER	D DEMO	DRAIN	NIC	NOT IN CONTRACT
	DOOR NUMBER	DF DIAGONAL	DEMOLISH, DEMOLITION	NOM	NOMINAL
	WINDOW TYPE	DIA DIAMETER	DRINKING FOUNTAIN	NRC	NOISE REDUCTION COEFFICIENT
	INTERIOR WALL ASSEMBLY	DISP DIVISION	DISPENSER	NTS	NOT TO SCALE
	EXTERIOR WALL ASSEMBLY	DN DOWN	DOWN SPOUT	OA	OVERALL
	EXTERIOR ELEVATION	DR DOWN	DETAIL	OC	ON CENTER(S)
	INTERIOR ELEVATION	DS DOWN SPOUT	DRAWING	OD	OUTSIDE DIAMETER
	WALL AND DETAIL SECTION	DET DETAIL	EACH	OH	OVERFLOW ROOF DRAIN
	BUILDING SECTION	DWG DRAWING	EACH FACE	OPH	OPPOSITE HAND
	DETAIL ENLARGEMENT	EA EACH	EXTERIOR INSULATION FINISH SYSTEM	PED	PEDESTAL
	GRID SYSTEM	EF EXTERIOR	EXPANSION JOINT	PERF	PERFORATED(D)
	SPOT ELEVATIONS	EJ ELEVATION	ELEVATION	PRE-FAB	PREFABRICATED(D)
	ACOUSTICAL CEILING PANEL	ENV ENVIRONMENTAL SERVICES	ENVIRONMENTAL SERVICES	PRE-FIN	PREFINISHED
	ADJACENT	ETH ETHYLENE, PROPYLENE, DIENE, TERPOLYMER	ETHYLENE, PROPYLENE, DIENE, TERPOLYMER	PL	PROPERTY LINE
	AUTOMATED EXTERNAL DEFIBRILLATOR	EQU EQUIPMENT	EQUIPMENT	PLAM	PLASTIC LAMINATE
	ABOVE FINISHED FLOOR	EST ESTIMATE	ESTIMATE	PSF	POUNDS PER SQUARE FOOT
	ALUMINUM	EW ELECTRIC WATER COOLER	ELECTRIC WATER COOLER	PVI	POLYVINYL CHLORIDE
	ALTERNATE	EXP EXPANSION	EXPANSION	PVM	PAVEMENT
	ARCHITECTURAL	EXT EXISTING	EXISTING	PLMB	PLUMBING
	AVERAGE	FD FLOOR DRAIN	FLOOR DRAIN	PLY WD	PLYWOOD
	BUILDING	FE FIRE EXTINGUISHER	FIRE EXTINGUISHER	QTY	QUANTITY
	BOTTOM	FEC FIRE EXTINGUISHER CABINET	FIRE EXTINGUISHER CABINET	R	RISER
	BEARING	FF FINISHED FLOOR	FINISHED FLOOR ELEVATION	RAD	RADIUS
	CAST IN PLACE	FIN FINISHED	FINISHED FLOOR	RCP	REINFORCED CONCRETE PIPE
	CENTER JOINT	FND FOUNDATION	FOUNDATION	RD	ROOF DRAIN
	CENTERLINE	FRP FIRE PROTECTION	FIRE PROTECTION	REF	REFERENCE
	CEILING	FT FOOTING	FOOTING	REFR	REFRIGERATOR
	CLEARANCE	FUR FURRED (ING)	FURRED (ING)	REV	REVISION(S), REVISED
	CONCRETE MASONRY UNIT	GA GAUGE	GAUGE	RFS	ROOM FINISH SCHEDULE
	COLUMN	GALV GALVANIZED IRON	GALVANIZED IRON	RH	RIGHT HAND
	COMBINATION	GC GENERAL	GENERAL CONTRACTOR	RM	ROOM
	CONCRETE	GEN GENERAL	GENERAL CONTRACTOR	RND	ROUND
	CONSTANT	GFRG GLASS FIBER REINFORCED GYPSUM	GLASS FIBER REINFORCED GYPSUM	RO	ROUGH OPENING
	CONTINUOUS OR CONTINUE	GL GLASS, GLAZING	GLASS, GLAZING	RTU	ROOF TOP UNIT
	CONTRACTOR	GWB GYPSUM WALL BOARD	GYPSUM WALL BOARD	RV	REVERSE (SIDE)
	CORNER GUARD	HC HANDICAPPED	HANDICAPPED	SF	SQUARE FEET
	CORRIDOR	HM HOLLOW METAL	HOLLOW METAL	SIM	SIMILAR
		HSKP HOUSE KEEPING / MAINTENANCE	HOUSE KEEPING / MAINTENANCE	SPEC	SPECIFICATION(S)
		HT HEIGHT	HEIGHT	SQ	SQUARE
		INFO INFORMATION	INFORMATION	SS	STAINLESS STEEL
		INSUL INSULATION	INSULATION	STL	STEEL
		INT INTERIOR	INTERIOR	STOR	STORAGE
		JAN JANITOR	JANITOR	STRUCT	STRUCTURAL
		JD JOINT	JOINT	SYM	SYMMETRICAL
		KD KNOCKED DOWN	KNOCKED DOWN	T&G	TONGUE & GROOVE
		KIT KITCHEN	KITCHEN	TEL	TELEPHONE
		L LENGTH, LONG	LENGTH, LONG	TO	TOP OF
		LAB LABORATORY	LABORATORY	TOM	TOP OF MASONRY
		LAM LAMINATED(D)	LAMINATED(D)	TOS	TOP OF STEEL
		LAV LAVATORY	LAVATORY	TV	TELEVISION
		LIN LINEAR	LINEAR	TYP	TYPICAL
		MAX MAXIMUM	MAXIMUM	UC	UNDER COUNTER
		MFR MANUFACTURE(R)	MANUFACTURE(R)	UNO	UNLESS NOTED OTHERWISE
		MIN MINIMUM	MINIMUM	VERT	VERTICAL
		MISC MISCELLANEOUS	MISCELLANEOUS	VB	VAPOR BARRIER
		MS MORT SINK	MORT SINK	V.F.	VERIFY IN FIELD
		MTL METAL	METAL	W	WIDTH, WIDE
				W/	WITH
				W/O	WITHOUT
				WB	WALL BASE
				WC	WATER CLOSET
				WD	WOOD
				WWF	WELDED WIRE FABRIC

ARCHITECT

WILKINS Architecture | Design | Planning LLC
2908 West 39th St Suite A
Kearney, NE 68845
T: 308.237.5787
www.WilkinsADP.com

MECHANICAL, PLUMBING, & ELECTRICAL ENGINEER

Engineering Technologies Inc. (ETI)
850 M St., Ste 200
Lincoln, NE 68508
T: 402.476.1273
eti-engineers.com

DEMOLITION GENERAL NOTES

1. ALL WALLS, FRAMES, STRUCTURAL, AND BUILDING ELEMENTS SHOWN IN DARK DASHED LINE ARE TO BE REMOVED, UNLESS NOTED OTHERWISE. EXISTING BUILDING ELEMENTS TO REMAIN ARE SHOWN IN LIGHT LINES.
2. SEE WALL SECTIONS, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEMOLITION NOT SHOWN ON DEMOLITION PLAN.
3. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION SCHEDULES WITH THE OWNER PRIOR TO STARTING THE WORK.
4. PRIOR TO COMMENCING DEMOLITION WORK, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. THE KEYNOTE NUMBERS SHOWN HEREIN ARE FOR ILLUSTRATION ONLY AND DO NOT INDICATE THE EXTENT TO THE NUMBER OF ITEMS TO BE REMOVED. THESE MUST BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH THE WORK TO BE COMPLETED UNDER THE CONTRACT.
6. THE CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTS AND REMOVALS WITH THE APPROPRIATE UTILITY COMPANIES.
7. THE CONTRACTOR SHALL NOT DAMAGE EXISTING ELEMENTS THAT ARE TO REMAIN, WHERE ITEMS TO BE REMOVED AND EMBEDDED IN THE STRUCTURE, THEY SHALL BE REMOVED AND ALL AREAS PATCHED NEATLY TO MATCH EXISTING OR NEW FINISHES.
8. PATCH AND REPAIR ADJACENT SURFACES OF ALL REMOVED ITEMS OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND CIVIL WITH MATCHING MATERIALS.
9. "REMOVE" INDICATED REMOVAL AND DISPOSAL, UNLESS NOTED OTHERWISE.
10. THE OWNER SHALL HAVE THE RIGHT TO SALVAGE ALL ITEMS SHOWN TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND WHICH ARE TO BE DISPOSED.
11. CONTRACTOR TO COORDINATE ALL DEMOLITION, MECHANICAL, PLUMBING, AND ELECTRICAL CONSTRUCTION; SEE ELECTRICAL DRAWINGS.

DEMOLITION KEY NOTES

1. REMOVE EXISTING WALL TO EXTENTS SHOWN, INCLUDING STRUCTURE, INSULATION, GWB (AND FINISHES) AND ASSOCIATED MEP DEVICES. SEE MECHANICAL AND ELECTRICAL.
2. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES. PREPARE OPENING FOR NEW CONSTRUCTION. PROTECT AND PRESERVE DOOR AND FRAME TO BE REUSED IN NEW CONFIGURED SPACES.
3. REMOVE EXISTING WINDOW IN ITS ENTIRETY, INCLUDING FRAME, SILL, AND ANY ASSOCIATED ROLLER SHADES/BLINDS. INFILL ACCORDING TO PLANS AND SECTIONS.
4. REMOVE EXISTING FLOORING AND BASE AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
5. REMOVE CEILING IN ITS ENTIRETY. PREPARE FOR NEW CEILING. SALVAGE AND REUSE AS MANY CEILING TILES/PADS AS POSSIBLE.
6. REMOVE EXISTING CONCRETE SLAB TO EXTENTS SHOWN AS REQUIRED FOR NEW ELECTRICAL WORK. SEE ELECTRICAL. REMOVALS SHOWN ON PLANS ARE NOT EXACT.
7. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PREPARE TO RECIEVE NEW DOOR.
8. REMOVE EXISTING BULKHEAD ABOVE AS REQUIRED FOR NEW CONSTRUCTION.
9. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES. PREPARE OPENING FOR NEW CONSTRUCTION.
10. REMOVE EXISTING PLUMBING FIXTURE IN ITS ENTIRETY, AND CAP PLUMBING LINES.
11. REMOVE EXISTING COUNTERTOP. EXISTING CASEWORK TO REMAIN. PROTECT AND PRESERVE EXISTING CASEWORK.



DEMOLITION PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"



BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issue	Date

Demolition Floor Plan

Project Number: 2352
Date: January 05, 2024

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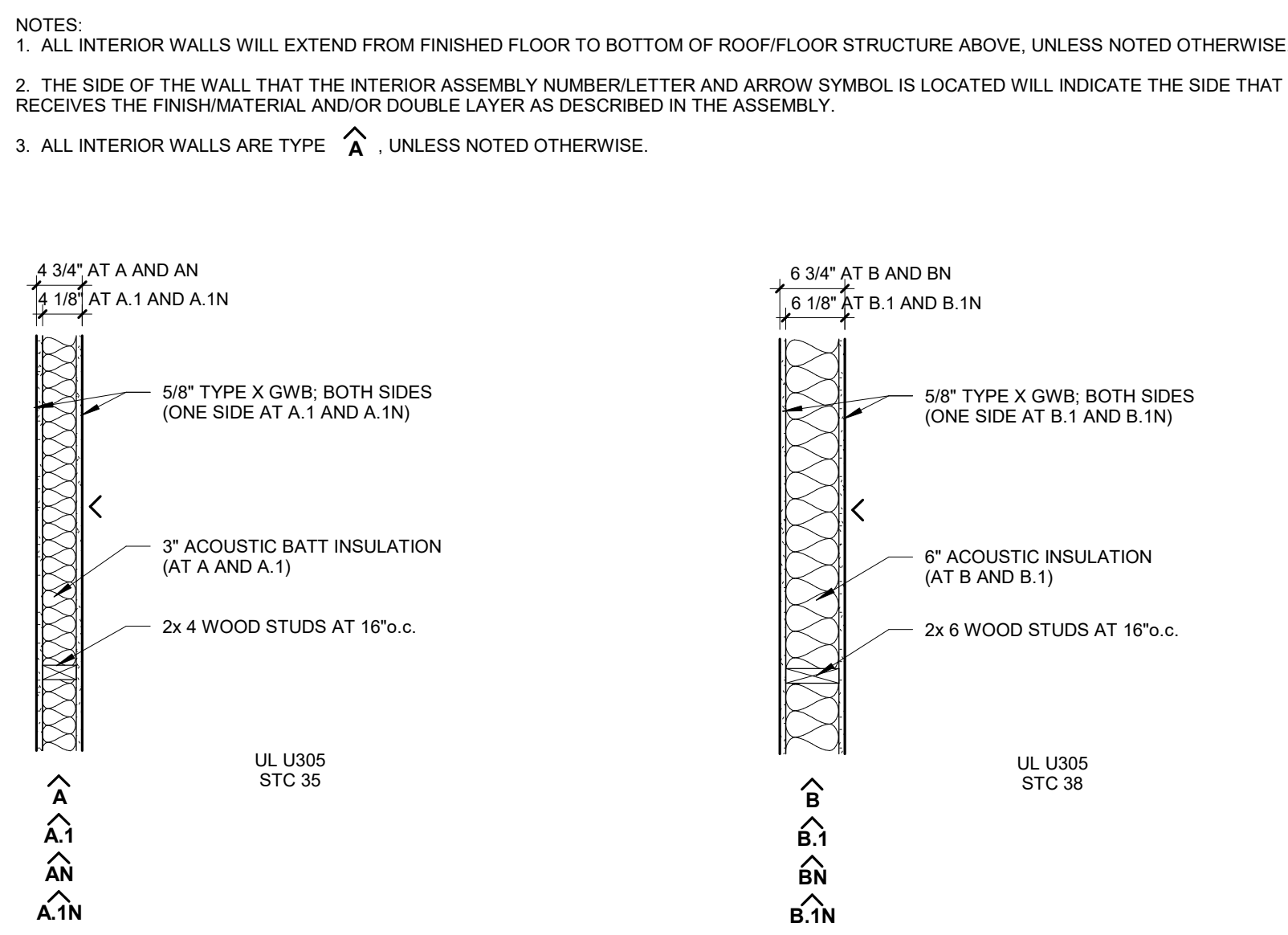
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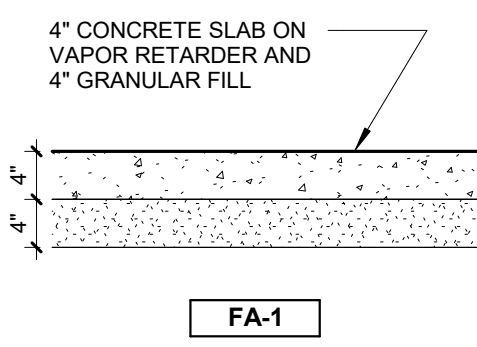
ARCHITECTURAL GENERAL NOTES

- GENERAL NOTES APPLY TO ALL SHEETS.
- ALL INTERIOR DIMENSIONS ARE ACTUAL AND ARE TO FACE OF G.W.B., FACE OF CMU WALLS, FACE OF CONCRETE WALLS, FACE OF FRAMES, OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- SEAL ALL DISSIMILAR MATERIAL JOINTS WITH SEALANT AS SPECIFIED.
- ALL INTERIOR WALLS ARE TYPE "A" INTERIOR WALL ASSEMBLIES, UNLESS NOTED OTHERWISE.
- ALL WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE, UNLESS NOTED OTHERWISE.
- SCRIBE GYPSUM BOARD OF WALL AND PARTITIONS TO IRREGULARITIES OF DECK ABOVE. SEAL TIGHTLY AROUND ANY PARTITIONS. FILL IRREGULARITIES BETWEEN TOP OF WALL AND DECK ABOVE WITH FIRE SAFING INSULATION OR FIRE STOPPING MATERIALS AS REQUIRED TO MEET FIRE RATING OF RESPECTIVE WALLS.
- SEE CODE PLAN AND FLOOR PLAN SHEETS FOR LOCATION OF WALLS OF FIRE-RESISTIVE CONSTRUCTION. ALL WALLS OF FIRE-RESISTIVE CONSTRUCTION SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE AND ACHIEVE PROPER FIRE-RESISTIVE RATING.
- SEAL ALL PENETRATIONS THROUGH ALL WALLS. RATED WALLS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE-RESISTIVE RATING AND SMOKE STOPPAGE. SEE PROJECT MANUAL.
- THE CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WOOD STUD PARTITIONS FOR THE PROPER ANCHORAGE OF ALL WALL ATTACHED ITEMS. I.E. TOILET ACCESSORIES, CASEWORK, MILLWORK, WALL-MOUNTED FIXTURES, MARKER BOARDS, TACK BOARDS, ETC.
- GYPSUM BOARD SURFACES SHALL BE ISOLATED WITH CONTROL JOINTS WHERE SHOWN ON DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL WALL BASE (TYP) AROUND ALL CASEWORK AND MILLWORK.
- SEE FURNITURE, FIXTURE, AND EQUIPMENT FLOOR PLANS AND NOTES FOR OWNER AND CONTRACTOR PROVIDED FURNITURE, FIXTURE, AND EQUIPMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ROUGH-IN INFORMATION NECESSARY TO ACCOMMODATE THE INSTALLATION OF OWNER FURNISHED AND INSTALLED ITEMS.
- THE CONTRACTOR SHALL INCLUDE ALL OWNER FURNISHED AND INSTALLED ITEMS IN THE CONSTRUCTION SCHEDULE, AND SHALL COORDINATE WITH THE OWNER TO ACCOMMODATE THESE ITEMS.
- THE OWNER SHALL BE RESPONSIBLE FOR ADHERING TO THE CONSTRUCTION SCHEDULE AS ESTABLISHED BY THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL MECHANICAL CHASE SIZES WITH THE MECHANICAL SUB-CONTRACTOR AND ELECTRICAL CHASE SIZES WITH THE ELECTRICAL SUB-CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL SUB-CONTRACTORS SIZE AND LOCATION OF EQUIPMENT PADS. ALL HOUSEKEEPING PADS TO BE 4" RAISED SLABS AS DETAILED, UNLESS NOTED OTHERWISE.
- DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE SHOWN NOMINAL. ALLOW FOR 1/4"-INCH (10) SHIM AND SEALANT OF EXTERIOR FRAMES.
- EXTEND PARTITIONS AND GYPSUM BOARD UP TO UNDERSIDE OF DECK ON ALL WALLS, UNLESS NOTED OTHERWISE.
- SEAL ALL PENETRATIONS THROUGH ALL WALLS.
- SEE WALL SECTIONS, ENLARGED PLANS, AND MEP FOR EXTERIOR AND INTERIOR WALL CONSTRUCTION NOT SHOWN ON THE FLOOR PLANS.
- ALL FIRE EXTINGUISHERS CABINETS (FE-1) TO BE MOUNTED WITH TOP OF CABINET AT 54" A.F.F. WITH BOTTLE CONTROLS NO HIGHER THAN 48".
- PROVIDE CONTROL JOINTS IN GWB WALLS ABOVE ALL DOOR FRAMES. PROVIDE CONTROL JOINTS AT BOTH CORNERS ON BOTH SIDES OF THE DOOR FRAME FROM TOP OF DOOR TO CEILING. PROVIDE CONTROL JOINTS AT ALL PAINT COLOR CHANGES/TRANSITIONS THROUGHOUT. BOTH VERTICAL AND/OR HORIZONTAL. ALL CONTROL JOINTS MUST TERMINATE AT ONE OF THE FOLLOWING: FLOOR, DOOR/FRAME, CEILING, OR ADJACENT PERPENDICULAR WALL.
- ARCHITECT TO SELECT ALL PRODUCT / MATERIAL COLORS FROM ALL AVAILABLE MANUFACTURER'S COLORS, UNLESS NOTED OTHERWISE.
- ALL DOOR AND WINDOW JAMBS IN WOOD STUD WALLS SHALL BE OFFSET 4" FROM ADJACENT PERPENDICULAR WALLS, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL DOORS CLEAR AT VARIOUS FLOOR FINISH THICKNESSES, TRANSITIONS, AND REDUCERS, AT ALL LOCATIONS; TRANSITION AND REDUCER TO BE PROVIDED AT ALL DISSIMILAR FLOORING TYPE TRANSITIONS. SEE ROOM FINISH GENERAL NOTES.
- CONTRACTORS ARE REQUIRED TO SCHEDULE A "MEET ME LOCATE" FROM DIGGERS HOTLINE OF NEBRASKA (NEBRASKA ONE CALL) 1-800-331-6868 PRIOR TO BEGINNING ANY EXCAVATION OR WORK ON THE PROJECT SITE. ATTENDANCE IS REQUIRED BY CONSTRUCTION MANAGER/OWNER'S REPRESENTATIVE, PERTINENT CONTRACTORS, AND ALL UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL SUB-CONTRACTORS FOR SIZE AND LOCATIONS OF PLYWOOD REQUIRED FOR WALL MOUNTED EQUIPMENT; ALL PLYWOOD TO BE PAINTED (COLOR TO MATCH WALL FINISH); SEE DETAIL ON ELECTRICAL DRAWINGS.

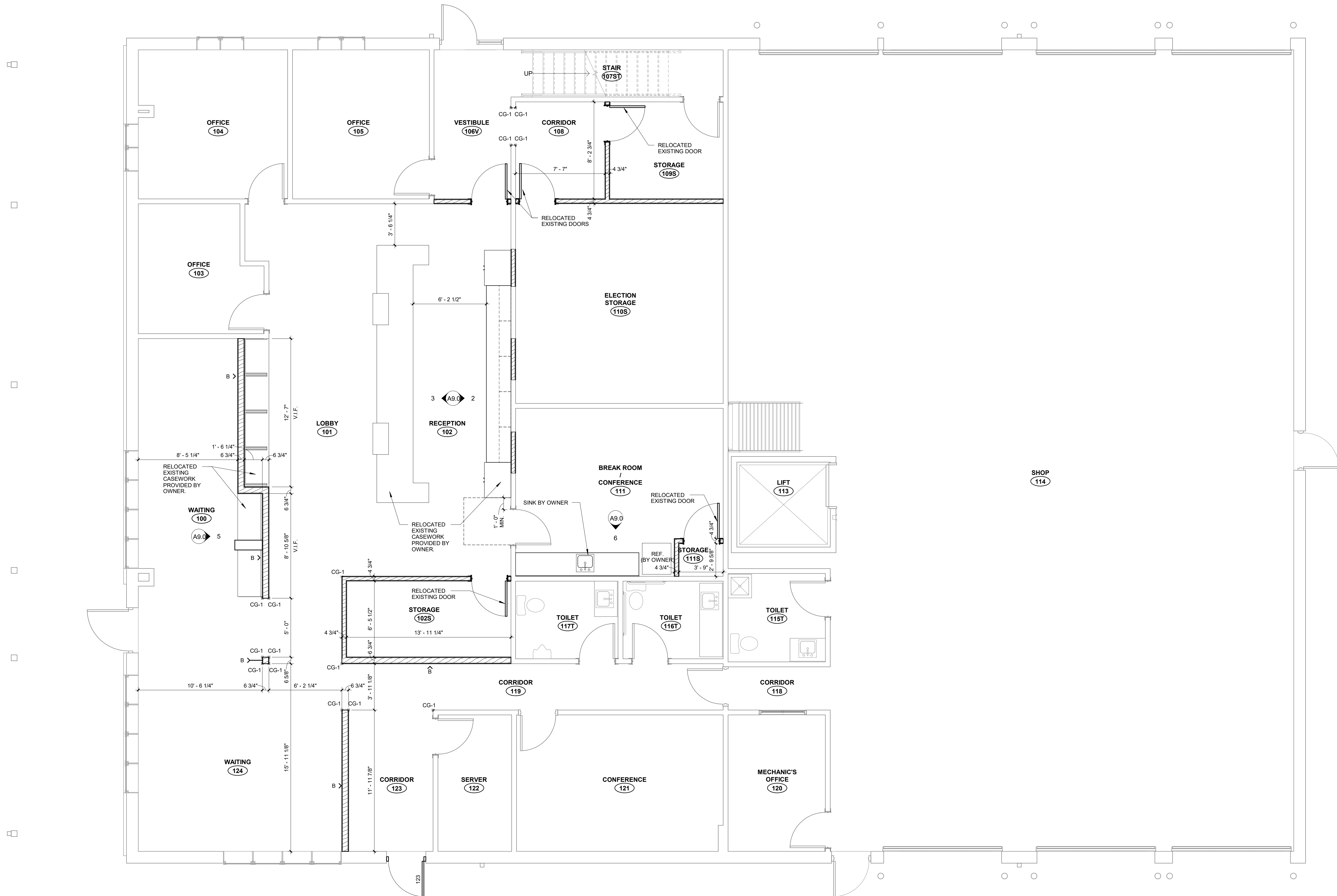
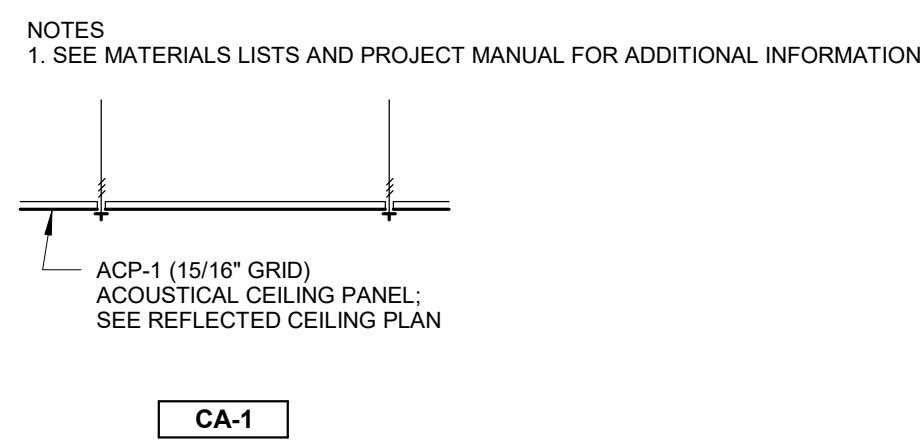
INTERIOR WALL ASSEMBLIES



FLOOR ASSEMBLIES



CEILING ASSEMBLIES



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

WILKINS

ARCHITECTURE

DESIGN

PLANNING

WilkinsADP.com



BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issue	Date

Overall Floor Plan

Project Number: **2352**
Date: **January 05, 2024**

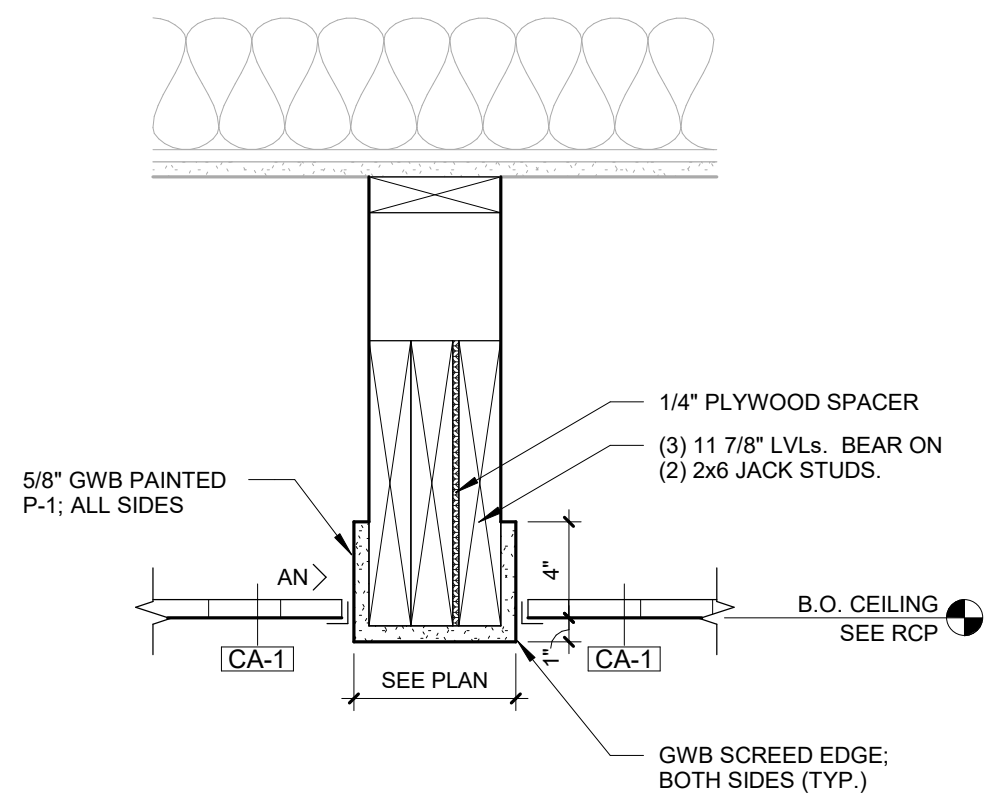
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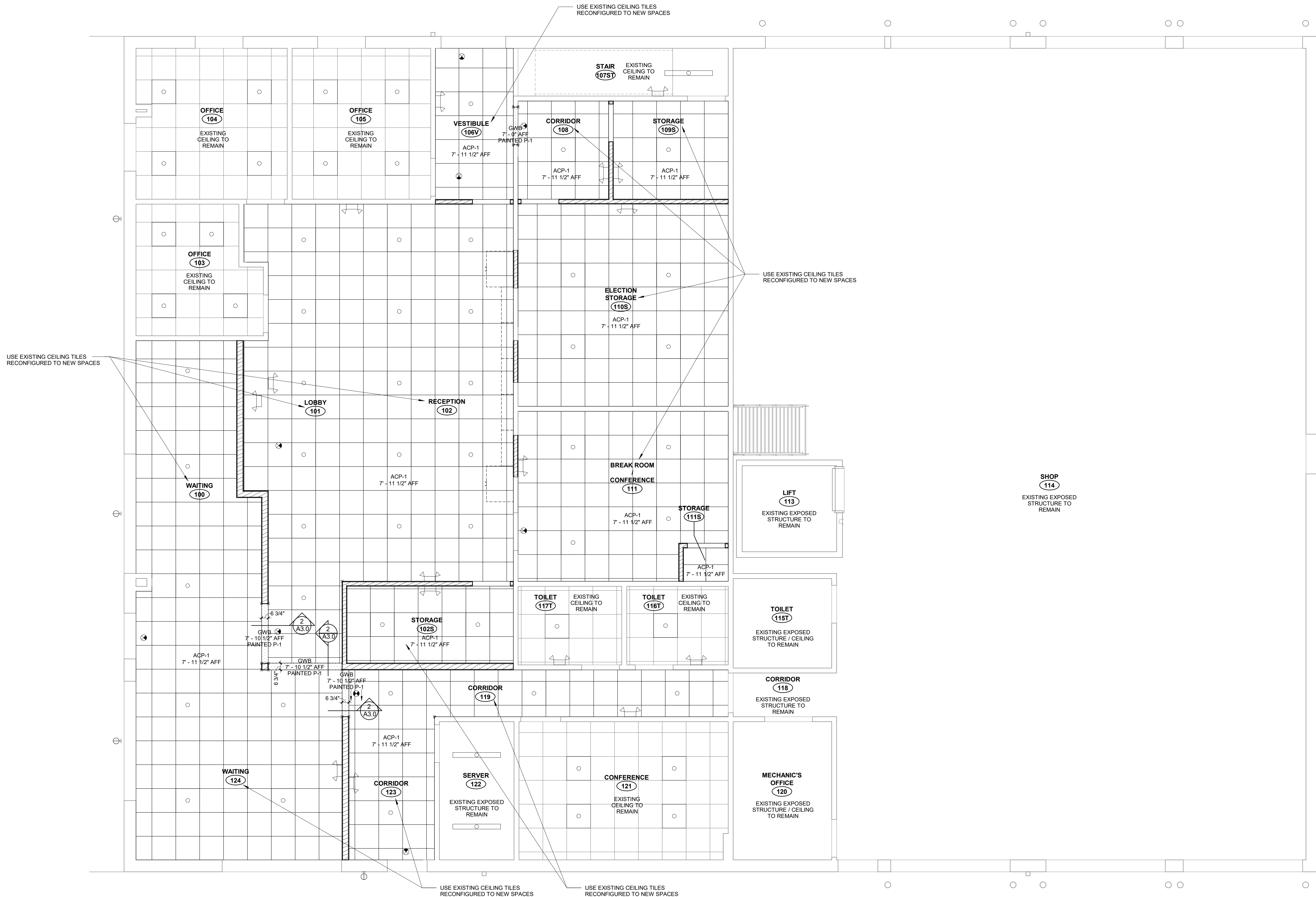
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REFLECTED CEILING NOTES

1. A.F.F. = ABOVE FINISHED FLOOR.
2. GWB = GYPSUM WALLBOARD.
3. ACP = ACOUSTICAL CEILING PANEL.
4. ALL VERTICAL AND HORIZONTAL BULKHEAD SURFACES TO BE PAINTED TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE.
5. ALL BULKHEADS TO BE PAINTED GWB (P-1) WITH LEVEL 4 "SMOOTH" FINISH (SEE DETAILS AND INTERIOR ELEVATIONS).
6. ALL ACP CEILINGS TO BE SUSPENDED "ACP-1" UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF GWB.
8. MECHANICAL AND ELECTRICAL FIXTURE SHOWN FOR COORDINATION ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS. ANY CONFLICTS TO BE VERIFIED WITH ARCHITECT PRIOR TO INSTALLATION.
9. CEILING HEIGHT TO BE 7'-11 1/2" AFF, UNLESS NOTED OTHERWISE.



2
A3.0
CEILING DETAIL
SCALE: 1 1/2\"/>



1
A3.0
REFLECTED CEILING PLAN - MAIN LEVEL
SCALE: 1/4\"/>



BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issue	Date

Reflected Ceiling Plan

Project Number: 2352
Date: January 05, 2024

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Sheet Number:

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DOOR AND FRAME REMARKS

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL DOORS ALLOW FOR CLEARANCE OVER FINISH FLOORING, INCLUDING ANY AND ALL FLOORING TRANSITIONS/TRANSITION STRIPS AND/OR REDUCING STRIPS. VERIFY FLOOR FINISHES AND ALL DOOR LOCATIONS WITH PLANS AND ROOF FINISH SCHEDULE.
2. DOOR IS LOCATED IN AN EXISTING OPENING. VERIFY DIMENSIONS OF EXISTING OPENING PRIOR TO FABRICATION.
3. DOOR HARDWARE (LOCKS, LEVERS, AND CLOSERS) TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

DOOR AND FRAME ABBREVIATIONS

MATERIALS: FINISHES:

AL = ALUMINUM AN = ANODIZED

GLASS TYPES

ITT = INSULATED TEMPERED TINTED (LOW-E)

DOOR TYPES

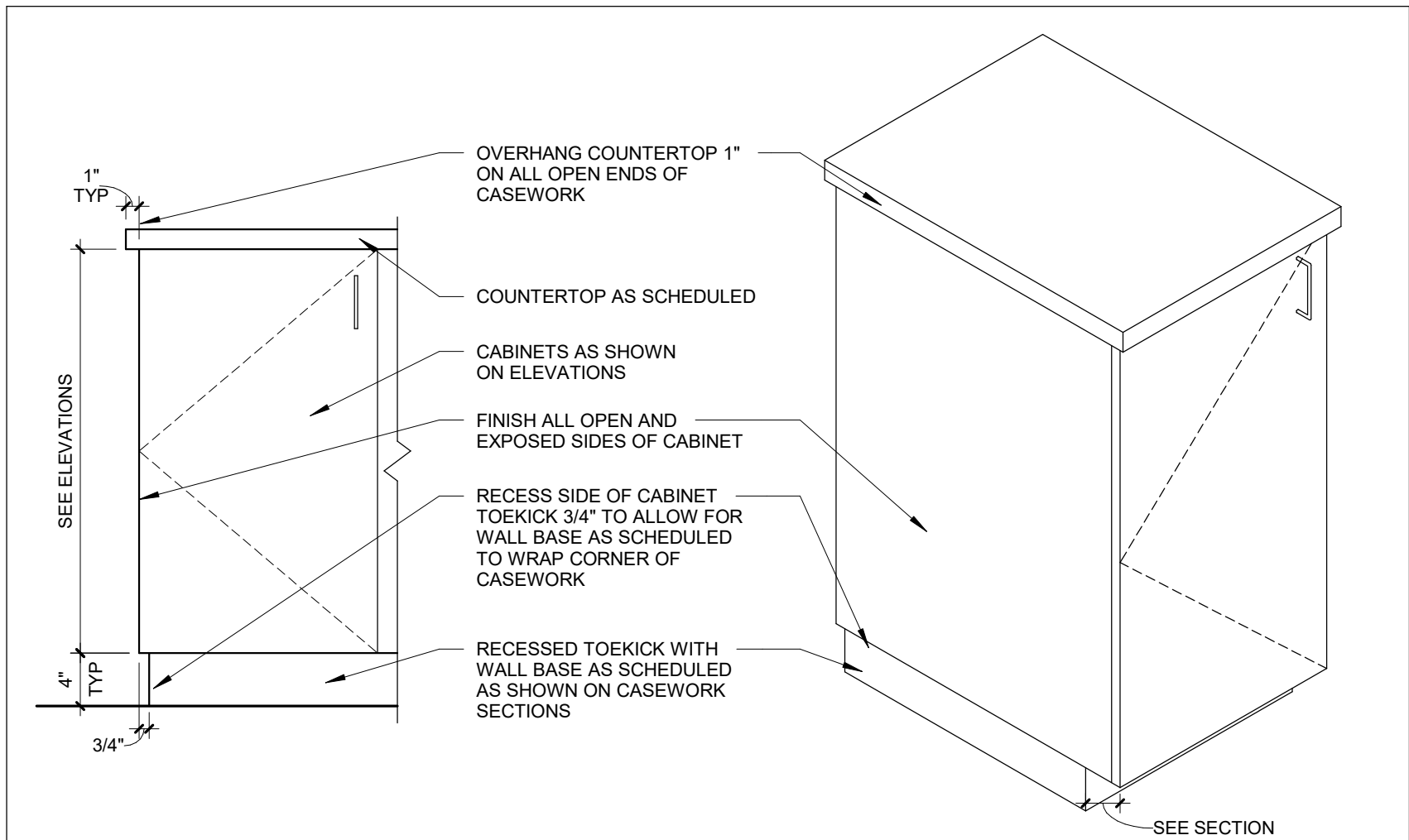
FG = FULL GLASS

DOOR AND FRAME SCHEDULE															
DOOR NO.	TYPE	DOOR				FRAME				GLAZING		FIRE RATING	REMARKS		
		WIDTH	# LEAFS	MAIN LEAF	HEIGHT	TYPE	MAT'L	FINISH	MAT'L	FINISH	DEPTH				
123	A	3'-0"	1		7'-0"	FG	AL	AN	AL	AN	4 1/2"	ITT	1"	12,3	

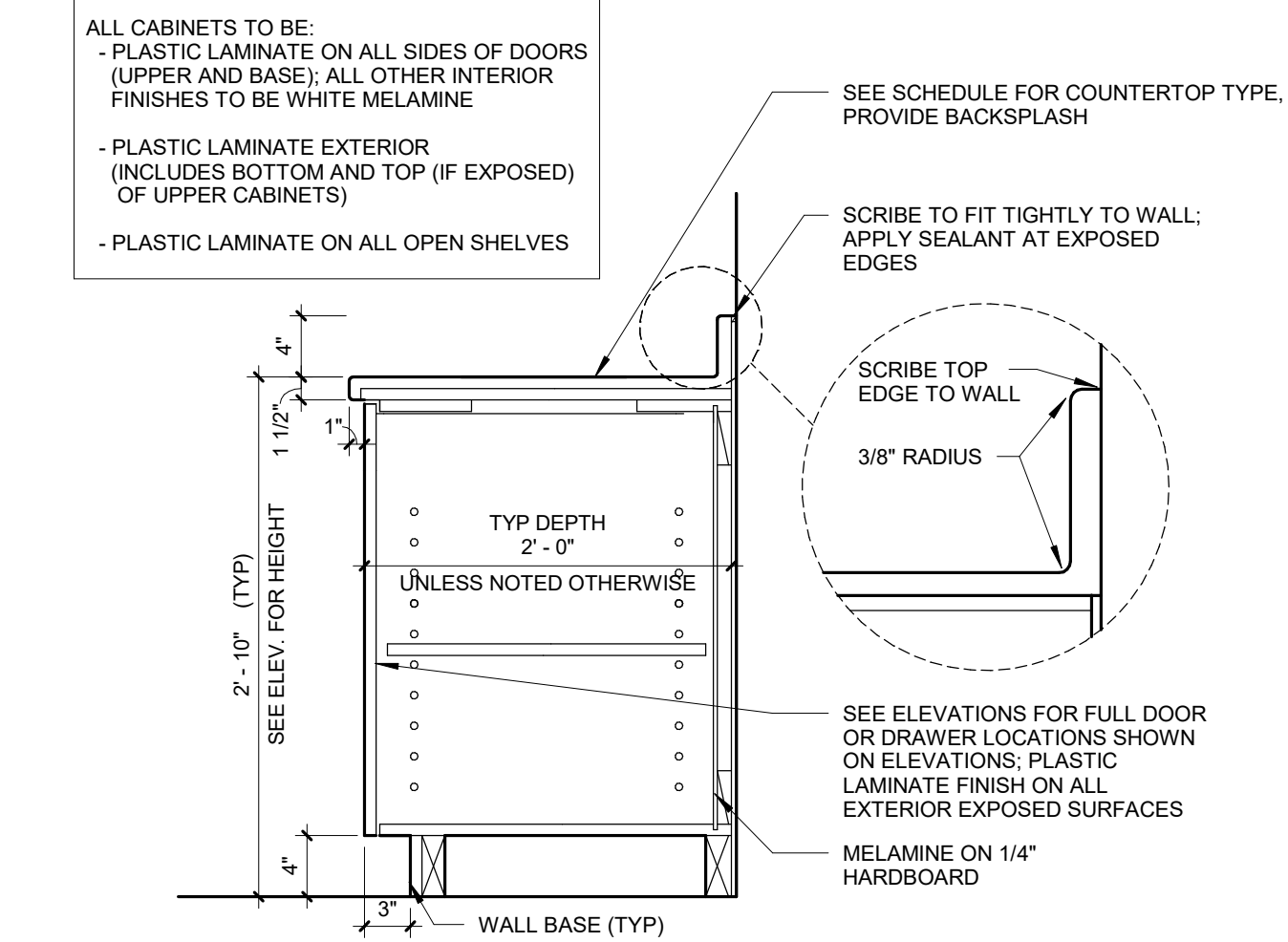
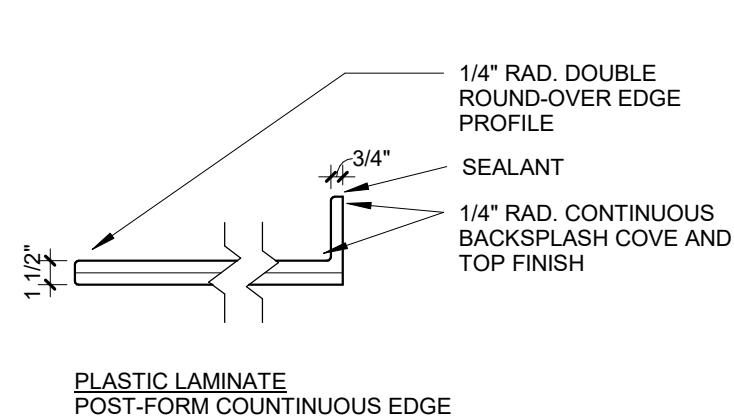
ROOM FINISH SCHEDULE													
ROOM NO.	ROOM NAME	FLOOR	BASE	CASEWORK		NORTH	EAST	SOUTH	WEST	WINDOW		REMARKS	
				TOP	UPPER					SILL	COVERING		
100	WAITING	WCPT-1 / CPT-1	WB-1	-	-	P-3	P-4	P-3	P-3	-	RS	1,2,4	
101	LOBBY	CPT-1	WB-1	EXISTING	EXISTING	P-3	P-3	P-3	P-3	-	-	1,2	
102	RECEPTION	CPT-1	WB-1	EXISTING	EXISTING	P-3	P-4	P-3	-	-	-	1,2,3	
102S	STORAGE	CPT-1	WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
103	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-	-	1,2	
104	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-	RS	1,2,4	
105	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-	RS	1,2,4	
106V	VESTIBULE	WCPT-1	WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
108	CORRIDOR	CPT-1	WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
109S	STORAGE	EXISTING	EXISTING / WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
110S	ELECTION STORAGE	CPT-1	WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
111	BREAK ROOM / CONFERENCE	CPT-1	EXISTING / WB-1	WD / EXISTING	PL-2	P-3	P-3	P-4	P-3	-	-	1,2	
111S	STORAGE	-	-	-	-	-	-	-	-	-	-	1,2	
119	CORRIDOR	CPT-1	WB-1	-	-	P-3	P-3	P-3	-	-	-	1,2	
123	CORRIDOR	WCPT-1	WB-1	-	-	P-3	P-3	P-3	P-3	-	-	1,2	
124	WAITING	WCPT-1 / CPT-1	WB-1	-	-	-	P-4	P-3	P-3	-	RS	1,2,4	

MATERIALS LIST					
KEY	DESCRIPTION	MANUFACTURER	PATTERN/STYLE	COLOR/NAME	REMARKS
ACOUSTICAL CEILING PANEL					
ACP-1	ACOUSTIC CEILING PANEL - 24"x24"	CERTAINTED	BET-154	WHITE	INSTALL w/ ARMSTRONG PRELUDE XL 1516" GRID
CARPET					
CPT-1	CARPET - TILE 18" x 36"	J + J FLOORING	ADAPT 7802	WARM BEAM 3270	ASHLAR INSTALLATION
WCPT-1	WALKOFF CARPET - TILE 24" x 24"	J + J FLOORING	CATWALK II	SPOTLIGHT 1427	QUARTER TURN INSTALLATION
PLASTIC LAMINATE					
PL-1	PLASTIC LAMINATE			MATCH EXISTING	
PL-2	PLASTIC LAMINATE	FORMICA		CONCRETE STONE 7267-58	MATTE FINISH
WALL BASE					
WB-1	VINYL BASE - 4"	TARKETT	TRADITIONAL VINYL - COVE	MATCH EXISTING	
PAINT					
P-1	PAINT	SHERWIN WILLIAMS		HIGH REFLECTIVE WHITE SW 7757	FLAT FINISH ON CEILINGS; ALL OTHER APPLICATIONS TO BE EGG-SHELL
P-2	PAINT	SHERWIN WILLIAMS		MATCH EXISTING	
P-3	PAINT	SHERWIN WILLIAMS		PEARLY WHITE SW 7009	EGG-SHELL FINISH
P-4	PAINT	SHERWIN WILLIAMS		DOVETAIL SW 7018	EGG-SHELL FINISH
MISCELLANEOUS					
CG-1	CORNER GUARD			MATCH EXISTING	
RS	MANUAL ROLLER SHADE	DRAPER	3% OPENNESS	PW4660 - PEWTER	
WD	WOOD VENEER			TO MATCH EXISTING	

CABINETY/CASEWORK OPEN END DETAIL



COUNTERTOP CONSTRUCTION DETAILS



CABINET SECTION

SCALE: 1" = 1'-0"

ROOM FINISH REMARKS

- SEE INTERIOR ELEVATIONS AND FINISH FLOOR PLANS FOR VARIOUS FINISH DESIGNATIONS AND NOTES.
- SEE FINISH FLOOR PLAN FOR FLOORING TRANSITION LOCATIONS.
- SEE ELEVATIONS AND CASEWORK DETAILS FOR EXTENTS AND DETAILS OF FINISHES.
- PROVIDE ROLLER SHADE ASSEMBLY AT INTERIOR WINDOW.

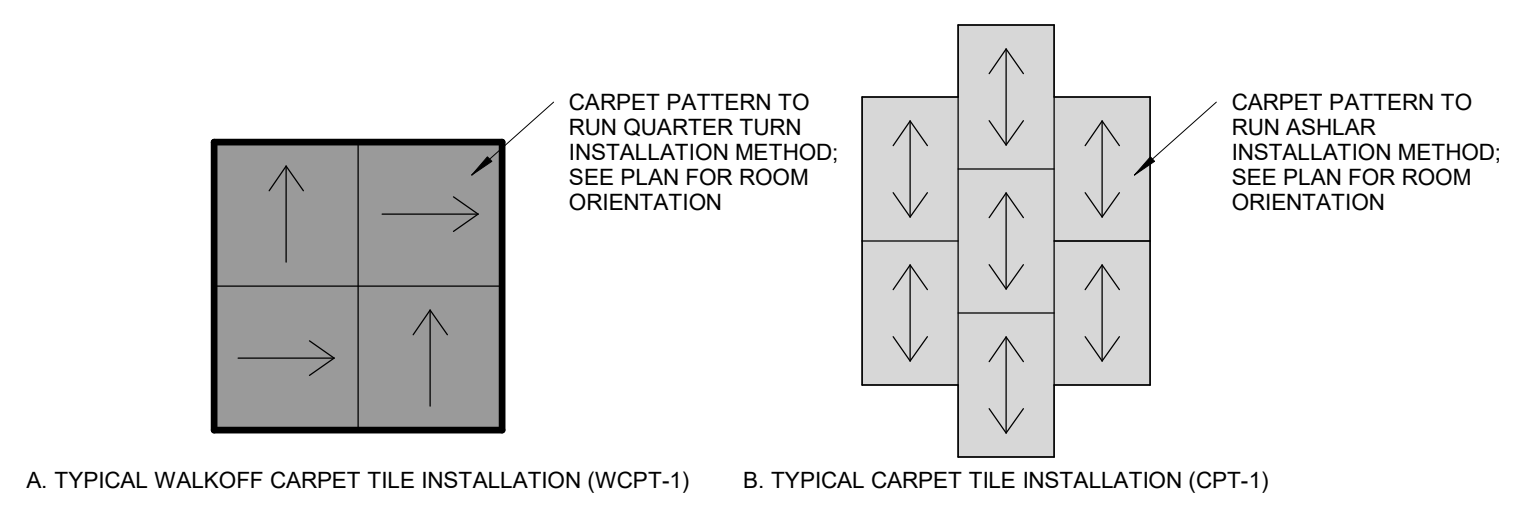
ROOM FINISH GENERAL NOTES

- SEE FINISH FLOOR PLANS AND ELEVATIONS FOR VARIOUS FINISH DESIGNATIONS AND NOTES.
- ALL BULKHEADS AND CEILINGS TO BE PAINTED P-1 UNLESS NOTED OTHERWISE. REFER TO REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS FOR VARIOUS PAINT DESIGNATIONS ON BULKHEADS.
- ALL WALLS IN SCHEDULE TO BE PAINTED P-2 UNLESS NOTED OTHERWISE; VARIOUS FINISHES NOTED IN SCHEDULE. INTERIOR ELEVATIONS AND FINISH PLANS.
- REFER TO FLOOR FINISH PLANS FOR LOCATIONS OF FLOORING TRANSITIONS, DESIGNS AND INSTALLATION METHODS; VERIFY ALL INSTALLATION METHODS AND LAYOUT PRIOR TO INSTALLATION. START FLOORING PATTERNS CENTERED WITHIN DESIGNATED ROOMS; SMALL TILES ON EDGES NOT ACCEPTABLE.
- AT ALL DISSIMILAR FLOOR FINISHES PROVIDE VINYL/METAL REDUCER/TRANSITION AS REQUIRED TO ACCOMMODATE VARIOUS FLOOR FINISH THICKNESSES; PROVIDE UNDERLAYMENT AS REQUIRED TO PROVIDE FLUSH TRANSITIONS BETWEEN FLOORING MATERIALS; SEE SPECIFICATIONS FOR DETAILS.
- "-" ON ROOM FINISH SCHEDULE REPRESENTS NO FINISH NEEDED.
- ALL EXPOSED COLUMNS, BEAMS, TIE RODS, TRUSSES, AND ROOF DECK ARE TO BE PAINTED PER ARCHITECTS SPECIFICATIONS.
- PROVIDE ROLLER SHADE (RS) FOR ALL EXTERIOR WINDOWS ONLY IN ROOMS SCHEDULED TO RECEIVE WINDOW COVERINGS; UNLESS OTHERWISE NOTED.
- SKIM COAT & PAINT FOR LEVEL 5 FINISH (TYP) AT EXPOSED EXISTING WALLS TO REMAIN.

CASEWORK GENERAL NOTES

- SEE ROOM FINISH SCHEDULE, ELEVATIONS, AND CASEWORK DETAILS FOR EXTENTS AND DETAILS OF FINISHES.
- ALL COUNTERTOPS TO BE SCRIBED TO FIT TIGHTLY TO WALL; APPLY SEALANT AT EXPOSED EDGES.
- SEE ROOM FINISH SCHEDULE FOR MATERIAL AT VARIOUS LOCATIONS; REFER TO COUNTERTOP CONSTRUCTION DETAILS ON SHEET A10.0 AND SPECIFICATIONS FOR FABRICATION AND INSTALLATION AS REQUIRED.
- ALL CASEWORK TO BE INSTALLED WITH FINISHED ENDS AT ALL EXPOSED SIDES OR CABINETY AND INSTALLED WITH FINISHED FILLER PANELS (INCLUDING HORIZONTAL AND VERTICAL SURFACE) AS REQUIRED FOR CABINETY TO FIT FUNCTIONALLY ALONG SIDE ADJACENT WALLS.
- PROVIDE WALL BASE ON ALL TOE-KICKS AND FINISHED EXPOSED ENDS OF CABINETY AS SCHEDULED IN ROOM FINISH SCHEDULE.
- AT EXPOSED FINISHED SIDES OF CASEWORK PROVIDE TOE-KICK REVEAL 3/4" OFF FACE OF CABINET.
- TALL CABINETS SHOWN SIDE-BY-SIDE TO A COUNTER ARE REQUIRED TO BE MOVED FORWARD FROM THE BACK WALL; CABINET TO BE 2" IN FRONT OF ADJACENT COUNTERTOPS DEPTH; PROVIDE AND FINISH TOP FILLER AS REQUIRED TO BACK WALL.

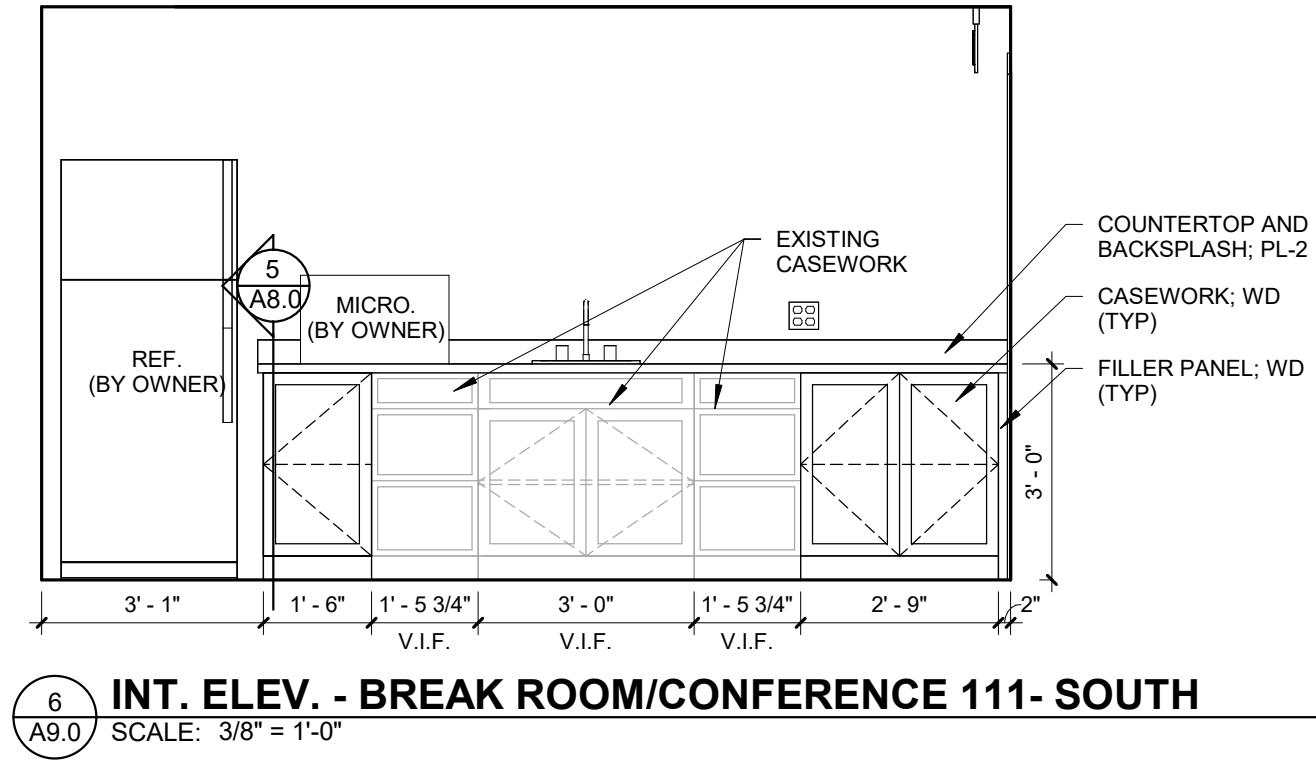
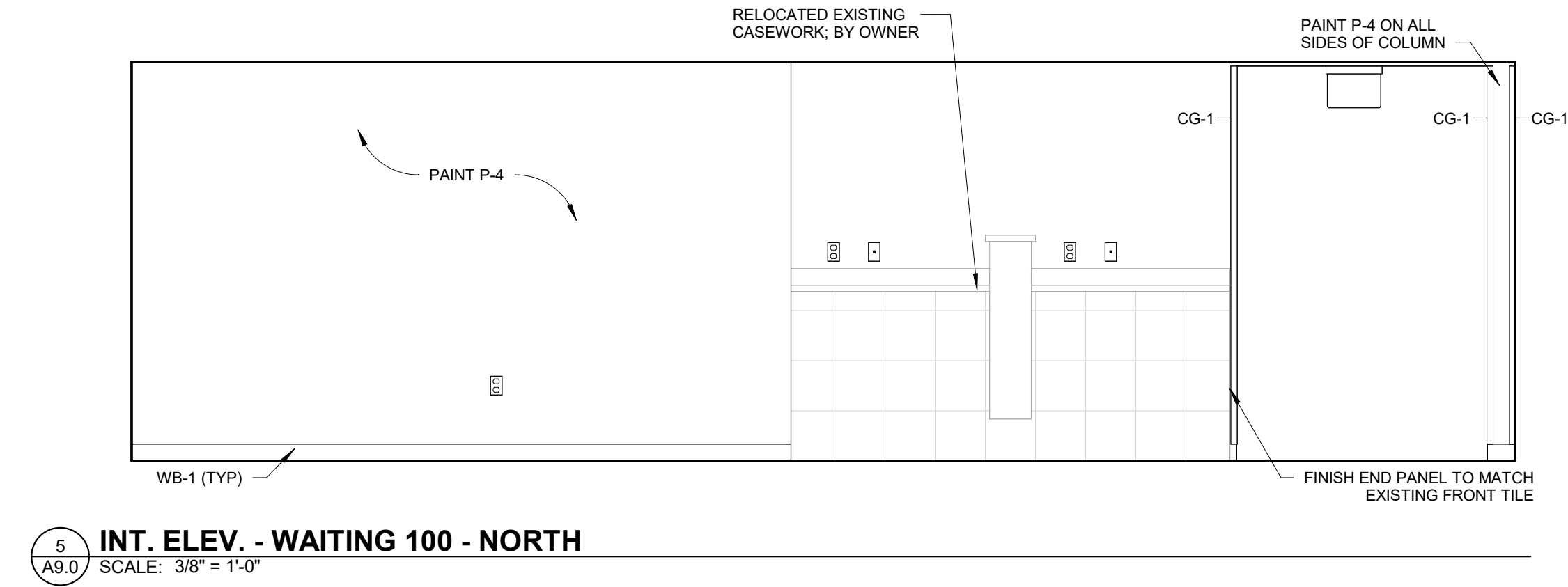
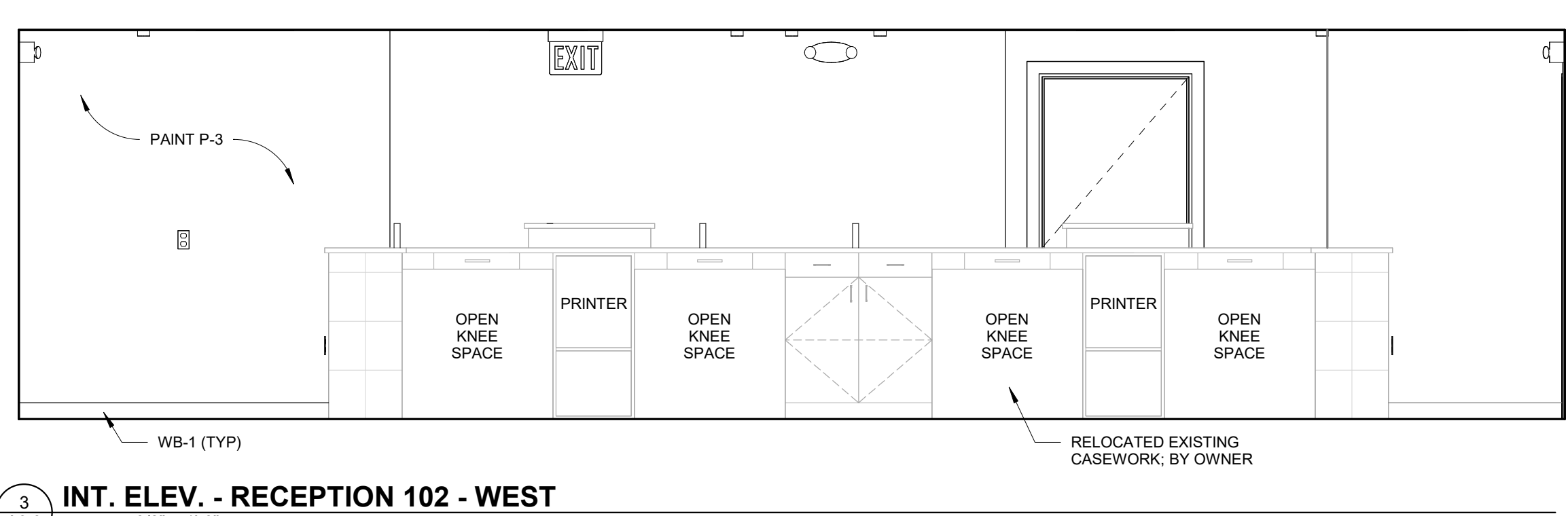
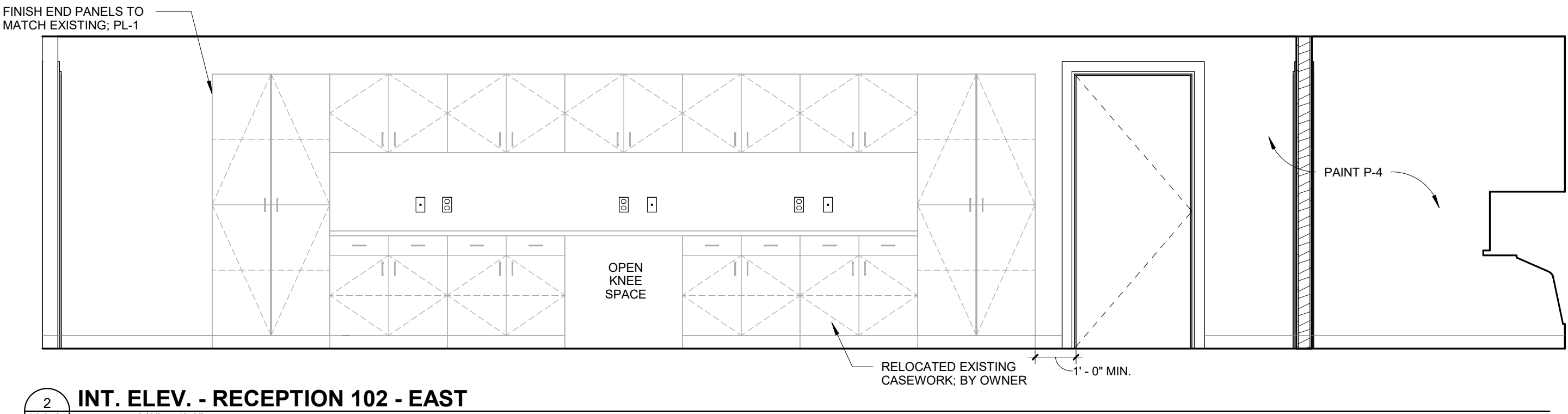
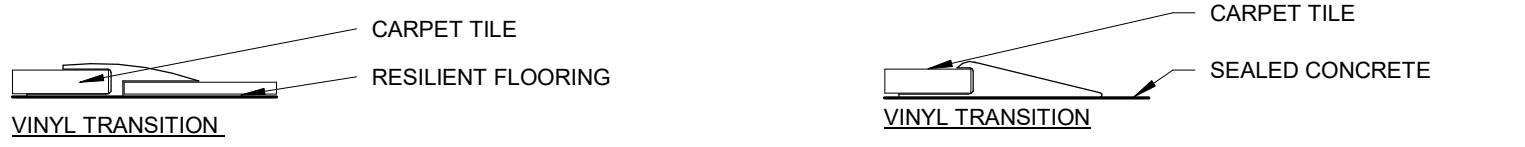
FLOORING LEGEND



FLOORING GENERAL NOTES

- CARPETING IN ROOMS TO BE CENTERED AND SQUARED PER INDUSTRY STANDARD (CRI CARPET INSTALLATION STANDARD 2011). TAKE MEASUREMENTS TO KEEP PERIMETER CARPET TILE CUTS LARGER THAN HALF SIZE (APPROX. 10" OR GREATER)
- AT ALL DISSIMILAR FLOOR FINISHES PROVIDE METAL OR VINYL REDUCER/TRANSITION AS REQUIRED TO ACCOMMODATE VARIOUS FLOOR FINISH THICKNESSES AND VERIFY COLOR w/ ARCHITECT; PROVIDE UNDERLAYMENT AS REQUIRED TO PROVIDE FLUSH TRANSITIONS BETWEEN FLOORING MATERIALS; SEE SPECIFICATIONS FOR DETAILS.

FLOORING TRANSITION DETAILS



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BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issue	Date

Finish Floor Plan

Project Number: 2352

Date: January 05, 2024

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Sheet Number:

A9.0

BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issu	Date

FIRST FLOOR ELECTRICAL
DEMOLITION PLAN

Project Number: 2352
Date: January 05, 2024

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ED1.0

SHEET NOTES

- 1 REMOVE MOTION SENSOR ALARM AND RETURN TO OWNER.
- 2 EXISTING SECURITY CAMERA TO BE REMOVED AND RETURNED TO OWNER. REMOVE ALL CABLING BACK TO SOURCE.
- 3 HANDICAPPED DOOR OPERATOR (PDO) TO BE REMOVED AND RELOCATED. SEE SHEET E2.1 FOR NEW LOCATION.
- 4 EXISTING SECURITY DISPLAY TO BE REMOVED AND RETURNED TO OWNER.
- 5 EXISTING WIRELESS ACCESS POINT TO BE REMOVED AND RETURNED TO OWNER.
- 6 REMOVE EXISTING PANEL AND REPLACE WITH NEW PANEL. SEE ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES ON SHEET E3.1.
- 7 EXISTING KEY PAD TO BE REMOVED AND RETURNED TO OWNER.



1 FIRST FLOOR - ELECTRICAL DEMOLITION PLAN
ED1.0 SCALE: 1/4" = 1'-0"

BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issu Date

FIRST FLOOR LIGHTING PLAN

Project Number: 2352
Date: January 05, 2024

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E1.1

LIGHTING CONTROL SCHEDULE											
TAG	MOTION SENSOR SETTINGS			DIMMING	DAYLIGHT SENSING	TIME-DELAY OFF	TIME-DELAY ON	TIME-DELAY OFF	TIME-DELAY ON	BUILDING NETWORKED	NOTES
	MANUAL ON	AUTO ON (H)	TIME-DELAY OFF								
A	-	100	20	X	-	-	-	-	-	-	TOILETS
B	-	100	20	X	X	-	-	-	-	-	CORRIDOR
C	-	100	20	X	X	-	-	-	-	-	WAITING LOBBY, RECEPTION
D	-	50	20	X	X	-	-	-	-	-	BREAK ROOM, CONFERENCE

GENERAL NOTES:

A. WHERE A LOW VOLTAGE SWITCH IS INDICATED ON THE PLANS WITH NO SUBSCRIPT, PROVIDE A 2-BUTTON ON/OFF SWITCH TO CONTROL ALL LIGHTING IN A SPACE. WHERE SUBSCRIPTS ARE INDICATED ON A LOW VOLTAGE SWITCH, PROVIDE SEPARATE ON/OFF BUTTONS FOR EACH SUBSCRIPT (LIGHTING ZONE).

B. WHERE DIMMING AND LOCAL ON/OFF IS INDICATED FOR A SPACE, PROVIDE LOW VOLTAGE SWITCH WITH SEPARATE DIMMER AND LOCAL ON/OFF BUTTONS FOR EACH ZONE INDICATED ON THE LOW VOLTAGE SWITCH.

C. WHERE DIMMING IS INDICATED, PROVIDE DIMMING LOAD CONTROLLERS COMPATIBLE WITH LIGHT FIXTURES BEING PROVIDED. PROVIDE A DIMMING LOAD CONTROLLER FOR EACH LIGHT FIXTURE TYPE WITHIN A COMMON DIMMING ZONE.

D. REFER TO THE LIGHTING CONTROLS SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

E. PROGRAMMING SHALL BE COMPLETED PRIOR TO THE DESIGN TEAM'S FINAL WALKTHROUGH OR BUILDING OCCUPANCY, WHICHEVER COMES FIRST. COORDINATE ADDITIONAL TRIPS REQUIRED WITH PROJECT PHASING.

NOTES:

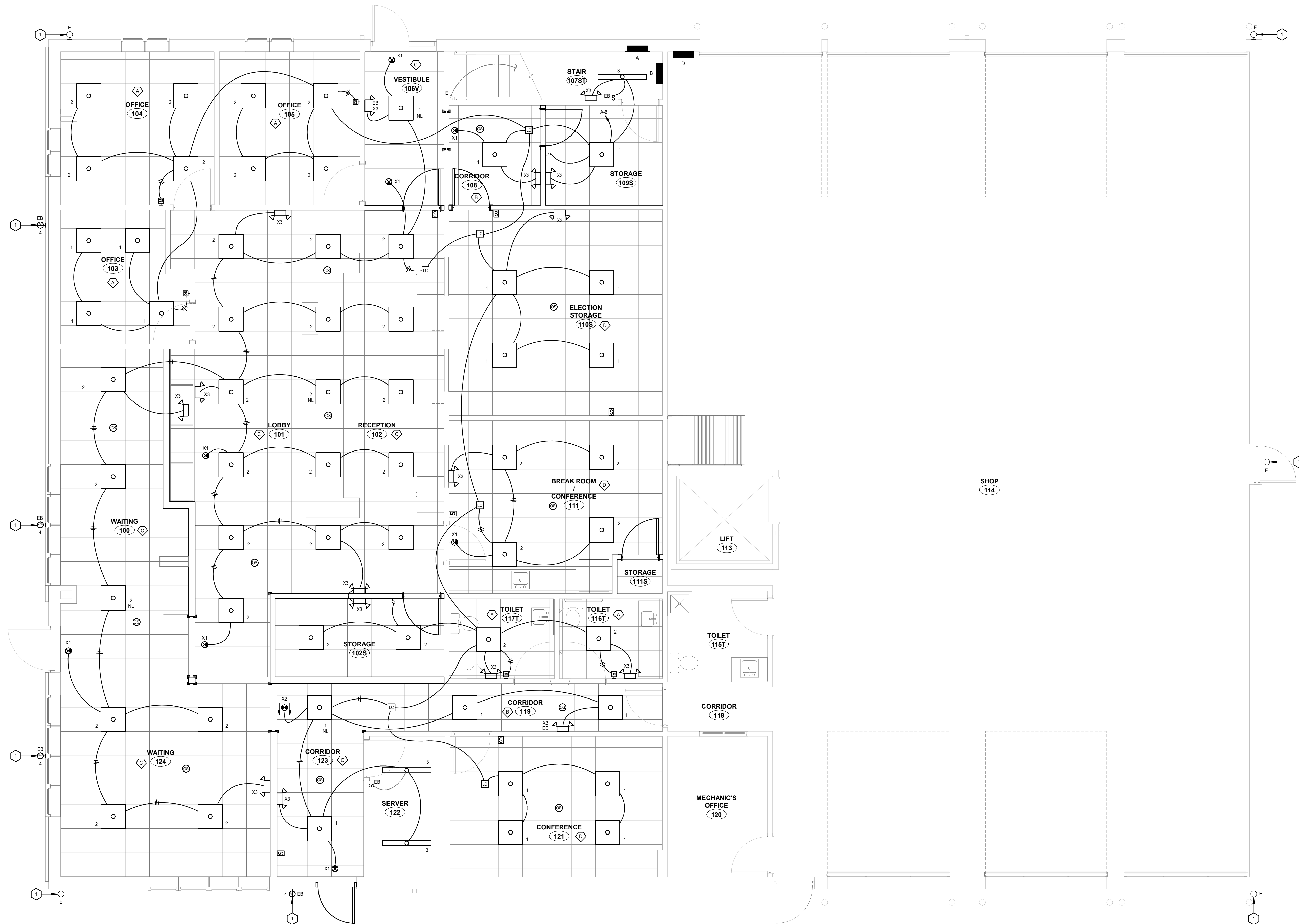
1. PROVIDE MOTION SENSOR INTEGRAL TO LOCAL ON/OFF SWITCH.

2. UPON TIME-DELAY OFF, LIGHTS SHALL DIM TO 20% UPON MOTION DETECTED. LIGHTS SHALL RAISE TO 100%.

3. LIGHTS IN ALL THREE OF THESE ROOMS SHALL BE CONSIDERED IN ONE ZONE. MOTION DETECTED IN ANY OF THE ROOMS SHALL TURNKEEP LIGHTS ON IN ALL ROOMS.

SHEET NOTES

1. EXISTING CIRCUIT FOR EXTERIOR LIGHTS TO BE CONNECTED TO NEW CIRCUIT BREAKER IN NEW PANEL AS REQUIRED.



1 FIRST FLOOR - LIGHTING PLAN
SCALE: 1/4" = 1'-0"

BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

Revision/Issu	Date
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FIRST FLOOR ELECTRICAL PLAN

Project Number: 2352
Date: January 05, 2024

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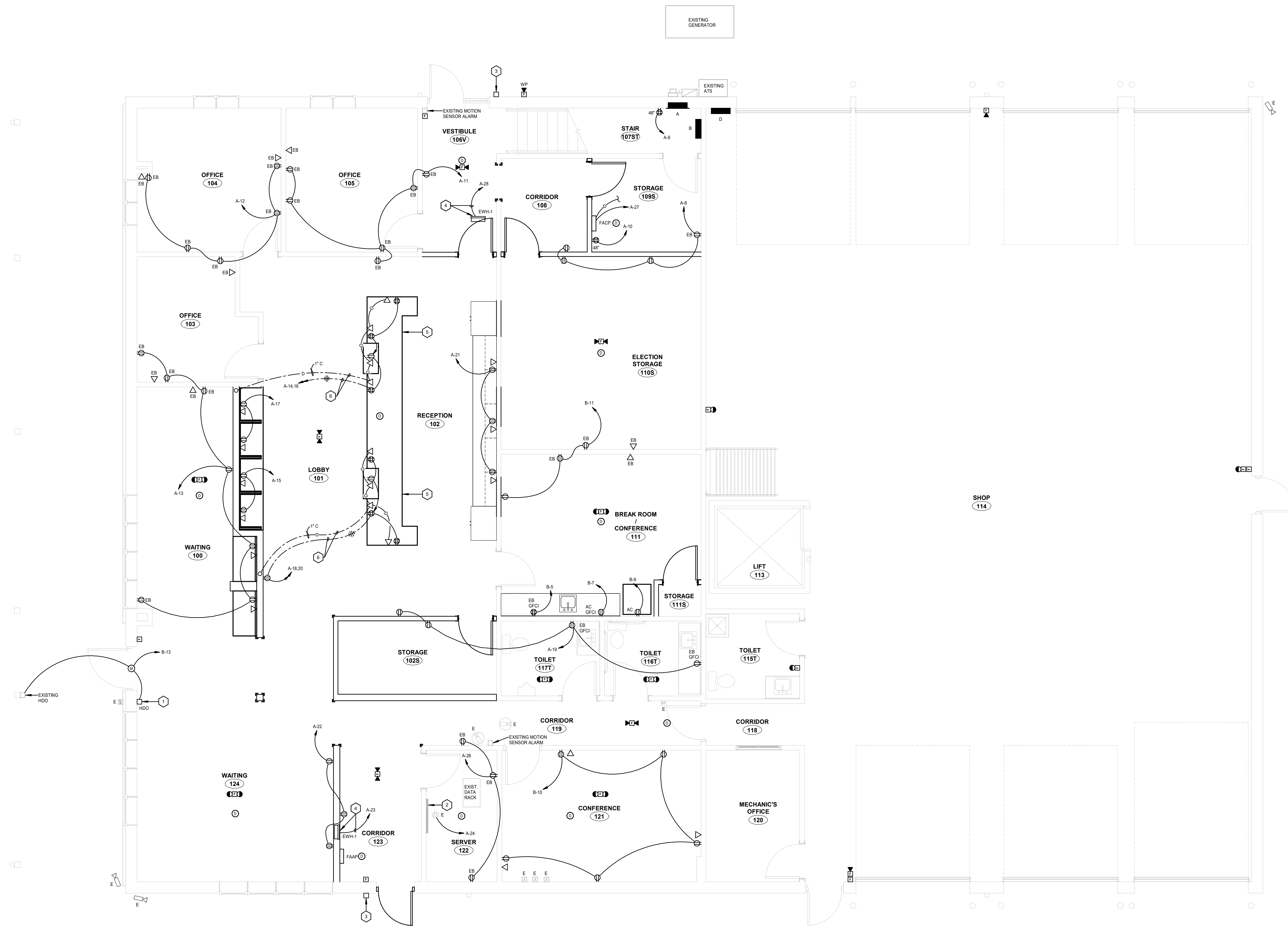
E2.1

ELECTRICAL GENERAL NOTES

- A THE FIRE ALARM SYSTEM IS AN ALTERNATE. PROVIDE IN BASE BID AND DELETE AS ALTERNATE.
B DATA AND TELEPHONE WIRING BY OWNER. THIS CONTRACTOR TO PROVIDE BOXES, CONDUITS, AND PULLSTRINGS.

SHEET NOTES

- 1 NEW LOCATION OF RELOCATED HANDICAPPED DOOR OPERATOR (HDO). EXTEND CABLING AS REQUIRED.
2 EXISTING TELECOM BOARD TO REMAIN.
3 PROVIDE BOX AND CONDUIT FOR KEYCARD CARD READER.
4 PROVIDE QMARK ANH408F WALL HEATER. PROVIDE #10 AWG, #10 GND IN 0.75" CONDUIT.
5 ALL BOXES FOR THE RECEPTACLES AND DATA IN THIS CASEWORK ARE EXISTING. REUSE BOXES AND CONDUIT. PROVIDE NEW DEVICE AND COVERPLATE.
6 GENERAL CONTRACTOR TO CUT AND PATCH FLOOR FOR NEW ELECTRICAL. COORDINATE IN THE FIELD.



1
E2.1
FIRST FLOOR - ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



 **1** **E2.2** **SECOND FLOOR ELECTRICAL PLAN**
SCALE: 1/4" = 1'-0"

BUFFALO COUNTY
321 CENTRAL AVE REMODEL
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SECOND FLOOR
ELECTRICAL PLAN

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E2.2

